INTERLOCAL AGREEMENT BETWEEN THE CITY OF BOYNTON BEACH AND THE BOYNTON BEACH COMMUNITY REDEVELOPMENT AGENCY FOR THE PROPERTY MAINTENANCE OF THE NORTHEAST FOURTH STREET PARKING LOT

THIS AGREEMENT is made **this** ____ day of _____, 2016 by and between the **CITY OF BOYNTON BEACH,** a Florida Municipal Corporation, (hereinafter referred to as "CITY"), and the **BOYNTON BEACH COMMUNITY REDEVELOPMENT AGENCY,** a public agency created pursuant to Chapter 163, Part III, Florida Statutes, (hereinafter referred to as the "CRA").

W I T N E S S E T H:

WHEREAS, the CRA Northeast Parking Lot and Street Enhancement Project (Exhibit "A") is intended to improve the quality of life for area residents, provide additional public parking for area businesses and to increase private investment within the CRA Redevelopment Area in the City of Boynton Beach ; and

WHEREAS, addressing the need for additional public parking for businesses within the downtown core area as well as eliminating slum and blighted conditions is a goal of the CRA's Redevelopment Plan; and

WHEREAS, the CRA Board of Commissioners finds that this Agreement, and the use of the CRA's funds to design and reconstruct the Northeast 4th Street Parking Lot & Street Enhancement Project is consistent with the CRA's Redevelopment Plan, and Florida Statutes; and

WHEREAS, due to the intended elimination of slum and blighted conditions, and the beneficial economic impact of the Northeast 4th Street Parking Lot & Street Enhancement Project, the CRA and the CITY find that this funding agreement serves a

municipal and public purpose, and is in the best interest of the health, safety, and welfare of the City of Boynton Beach, including the Community Redevelopment Area.

NOW, THEREFORE, in consideration of the mutual covenants and promises herein contained, the parties hereby agree as follows:

1. The recitations set forth above are hereby incorporated herein.

2. The CRA shall provide annual funding in the amount not to exceed $10,000 for landscape maintenance and property management services to the CITY for the maintenance of the Northeast 4th Street Parking Lot & Street Enhancement Project area. Such maintenance by the CRA shall be customary and reasonable and in accordance with the standards of maintenance of the City.

3. The term of this Agreement shall commence upon execution by both parties and shall terminate on September 30, 2018. The term of the Agreement may be extended upon the execution of a written amendment to this Agreement executed by the Parties hereto.

4. Upon the termination of this Agreement, the City shall be responsible for all maintenance of the Project area including but not limited to the asphalt parking area, the swale drainage area, all landscaping, the sidewalk improvements and all pavement markings.

5. This Interlocal Agreement shall be filed pursuant to the requirements of Section 163.01(11) of the Florida Statutes.

6. No prior or present agreements or representations with regard to any subject matter contained within this Agreement shall be binding on any party unless included expressly in this Agreement. Any modification to this Agreement shall be in writing and executed by the parties.

7. The validity of any portion, article, paragraph, provision, clause, or any portion thereof of this Agreement shall have no force and effect upon the validity of any other part of portion hereof.

8. This Agreement shall be governed by and in accordance with the Laws of Florida. The venue for any action arising from this Agreement shall be in Palm Beach County, Florida.

9. Neither the CITY nor the CRA shall assign or transfer any rights or interest in this Agreement.

10. This Agreement shall not be valid until signed by the Mayor and the City Clerk.

IN WITNESS WHEREOF, the CITY and CRA hereto have executed this Agreement as of the date set forth above.

ATTEST:

CITY OF BOYNTON BEACH,
a Florida municipal corporation

_____
Janet Prainito, City Clerk

By:_____
Jerry Taylor, Mayor

Approved as to Form:

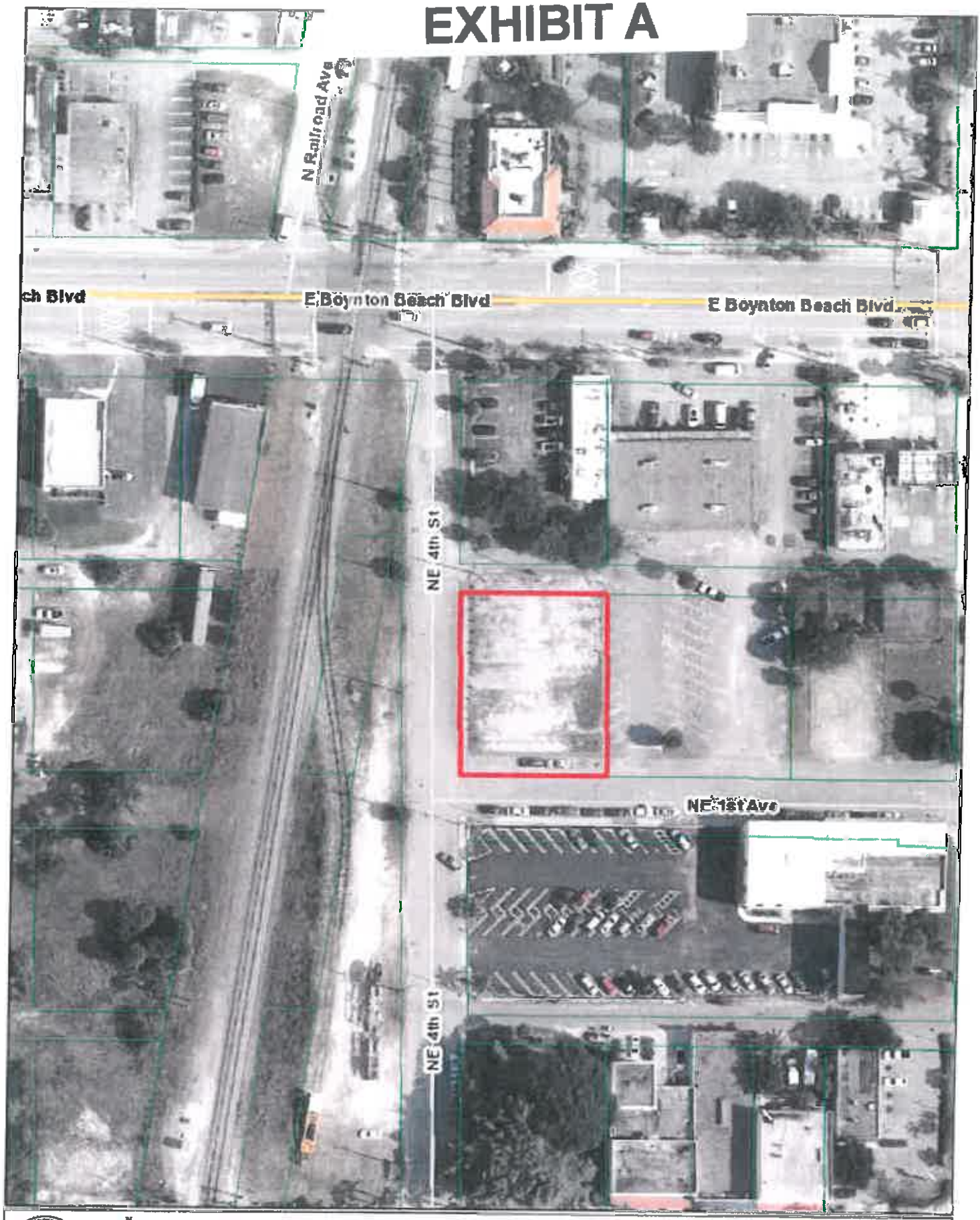
(SEAL)

_____
Office of the City Attorney

BOYNTON BEACH COMMUNITY REDEVELOPMENT AGENCY

By: _____
Jerry Taylor, Chair

EXHIBIT A



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0 0.005 0.01 0.02 mi

0 0.01 0.02 0.04 km

CONSTRUCTION PLANS

FOR

PARKING LOT - NE 1st AVE AND NE 4TH ST.
BOYNTON BEACH, FL

AUGUST 2015

PROJECT TEAM

OWNER
BOYNTON BEACH CRA
710 N. FEDERAL HIGHWAY
BOYNTON BEACH, FL 33435
PHONE: (561) 737-3888 EXT. 808
CONTACT: MICHAEL SIMON

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1600 SOUTH CONGRESS AVENUE, SUITE 100
DELRAY BEACH, FL 33445
PHONE: (561) 404-7280
CONTACT: JASON A. WEBBER, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
1920 WONYA WAY, SUITE 200
WEST PALM BEACH, FL 33401
PHONE: (561) 845-0833
CONTACT: JONATHAN HAGH, R.L.A. ASLA

SURVEYOR
AVIROM & ASSOCIATES, INC.
50 SW 2nd AVE, SUITE 102
BOCA RATON, FLORIDA 33432
PHONE: (561) 392-2594
CONTACT: MICHAEL D. AVIROM, PLS

VICINITY MAP
NOT TO SCALE
SECTION: 28 TOWNSHIP: 45S RANGE: 43E

PROJECT LOCATION
NE 1ST AVENUE AND NE 4TH STREET
BOYNTON BEACH, FLORIDA 33435

Sheet List Table

Sheet Number	Sheet Title
[illegible]	COVER SHEET
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THE PRESENCE OF GROUNDWATER SHALL BE ANTICIPATED. CONTRACTORS TO SHALL INCLUDE CONSIDERATION FOR ALLOWING THE PUMP AND DISCHARGE ALL NECESSARY PERMITS.

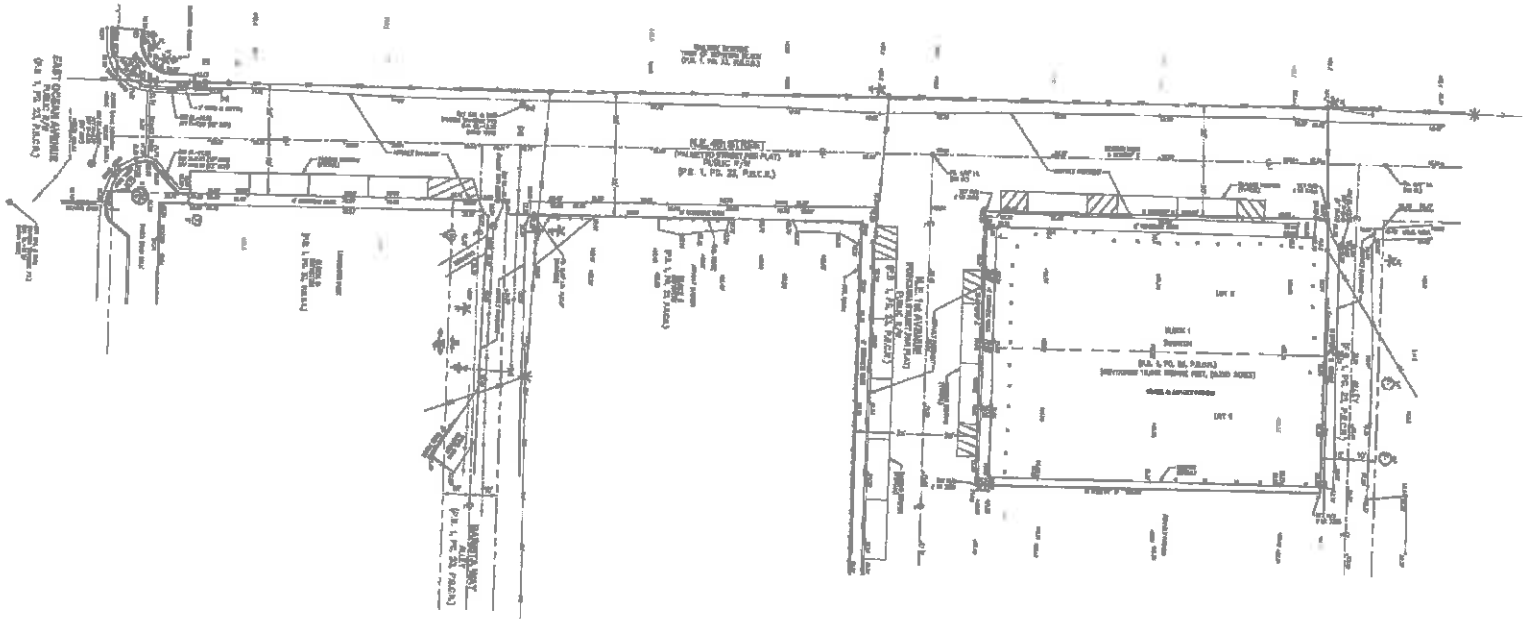
CALL 2 WORKING DAYS BEFORE YOU DIG
IT'S THE LAW
DIAL 811
811

Kimley»Horn

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

COVER SHEET

SHEET NUMBER
C1.00



SYMBOL LEGEND:

- BACKFLOW PREVENTOR VALVE
- BENCHMARK
- CONCRETE BOLLARD
- CONCRETE LIGHT POLE
- CURB INLET
- DRAINAGE MANHOLE
- ELECTRIC SERVICE BOX
- EXISTING ELEVATION
- FIRE HYDRANT
- FLAGPOLE
- GUY ANCHOR
- IRRIGATION CONTROL VALVE
- METAL LIGHT POLE
- OVERHEAD WIRES
- SANITARY MANHOLE
- SIGN
- WATER METER
- WATER VALVE
- WOOD LIGHT POLE
- WOOD UTILITY POLE
- UNDERGROUND FORCE MAIN
- UNDERGROUND GAS LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND WATER LINE

TREE LEGEND:

- PINE
- OAK
- PALM
- UNKNOWN SPECIES

SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
   The underground utilities shown have been located from aboveground paint markings by other crews as observed during the survey. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located accurately as possible from information available. The surveyor has not physically located the underground utilities. Every effort has been made to obtain underground utilities pipe type and size, as shown. It is the responsibility of the end user to verify the types and sizes are appropriate prior to design or use facilities.
   The land description shown hereon is in accord with a Special Warranty Deed recorded in Official Records Book 12748, Page 707 of the Public Records of Palm Beach County, Florida.
5. Bearings shown hereon are referred based on the centerline of N.E. 4th Street having a bearing of S 89°28'37" E.
6. Elevations shown hereon are in feet and based on the National Geodetic Vertical Datum of 1929 (NGVD 1929).
7. Benchmark Description: Palm Beach County Engineering Division Benchmark "JAMES". Elevation=14.843 feet (NGVD 1929).
8. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the features.
9. The species of trees as shown hereon were identified to the best of knowledge and ability of the surveyor, without the benefit of an arborist or biologist. It is the responsibility of the end user to verify the identity of the species.
10. The map is intended to be displayed at a scale of 1:240 (1"=20').
11. Units of measurement are in U.S. Survey Feet and decimal parts thereof. All elevations recorded in this survey were field measured to a horizontal positional accuracy of 0.10'. The elevations on impervious surfaces were field measured to 0.01' and on ground surfaces to 0.1'.
12. Abbreviation Legend: Bld = Building; C = Centerline; CONC. = Concrete; D. = Deviation; F.B. = Field Book; Fd. = Found; ID. = Identification; I.D. = Iron Rod; R/W = Right; L.B. = Licensed Business; NGVD = National Geodetic Vertical Datum; OR = Orange; Wood P.B. = Plat Book; P.B.C.R. = Palm Beach County Records; PG. = Page; P.L.S. = Professional Land Surveyor; PT. = Point; RCP = Reinforced Concrete Pipe; R/W = Right-of-Way; W/Cap = With Surveyor's Cap.
13. Street Address = NE 1st Avenue and NE 4th Street, Boynton Beach, Florida.

LAND DESCRIPTION:

PARKING LOT:

LOTS 5 AND 6, BLOCK 1, "SUBDIVISION OF THE TOWN OF BOYNTON", IN THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 28, TOWNSHIP 45 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT FILED BY DAVID S. DUNBY AND FRED E. BOWEN, SEPTEMBER 26, 1898 AND RECORDED IN THE RECORDS DADE COUNTY AND PALM BEACH COUNTY, FLORIDA, PLAT BOOK 1, PAGE 23.

Said land situate in the City of Boynton Beach, Palm Beach County, Florida and containing 12,642 square feet (0.290 acres) more or less.

CERTIFICATION:

This survey is certified to Boynton Beach CRA

I HEREBY CERTIFY that the attached Boundary Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 5J-17.050 through 5J-17.052, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Date: _____

MICHAEL S. AVIROM, P.L.S.
Florida Registration No. 3966
AVIROM & ASSOCIATES, INC.
L.B. No. 3363

AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
99 NE 2ND AVENUE, SUITE 102, BOCA RATON, FLORIDA 33432
TEL. (561) 368-5994, FAX (561) 394-7125
www.AVIROM-SURVEY.com

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REVISIONS	DATE	F.B./PG.	BY	CKD	REVISIONS	DATE	F.B./PG.	BY	CKD

BOUNDARY SURVEY
BOYNTON BEACH PARKING LOT
N.E. 4th STREET
BOYNTON
(P.B. 1, PG. 25, P.B.C.R.)
CITY OF BOYNTON BEACH
PALM BEACH COUNTY, FLORIDA

JOB #	2016-1
SCALE:	1"=20'
DATE:	09/08/2016
BY:	V.L.A.
REVISED:	M.D.A.
F.B. 1212 / 1208	PG. 11-12 / 08
SHEET 1	OF 1

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION), AND ENSURE COMPLIANCE WITH THE CONTENTS THEREOF ON COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PURCHASING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE GOVERNMENTAL AUTHORITIES, SPECIFICATIONS AND AS DIRECTED BY THE OWNER. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS THE SITE OTHERWISE DESIGNED, REMOVE TREES, STUMPS, ROOTS, MUCK, EMPTY PAVEMENT AND ALL OTHER OBJECTIONABLE MATERIAL.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE FACILITIES ON SITE, UNDERGROUND OR OVER THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. NO CONTRACTOR SHALL DELAY THE UTILITY COMPANIES BEFORE COMMENCING WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN OR TRANSFER ALL THE REQUIRED PERMITS AND OBTAIN ALL BONDS AS REQUIRED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
6. ANY DISCREPANCIES ON THE PROJECTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND THE ENGINEER.
7. ALL COPIES OF CORRESPONDENCE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND ENGINEER DIRECTLY FROM THE TESTING AGENCY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED BOUNDARY SURVEY MADE AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL SOLUTIONS OF ALL CONTRACTED REPRESENTATIONS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR TER-CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MAINTAINING ASBUILT INFORMATION WHICH SHALL BE INCORPORATED AS CONTRACTOR PROCEEDS WITH THE COMPLETION OF APPROPRIATE CONSTRUCTION OPERATIONS AND SHALL BE RESPONSIBLE FOR PREPARING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO GOVERNMENTAL AGENCIES AS REQUIRED. ALL ASBUILT DATA WILL BE COLLECTED BY A FIRM OF FLORIDA PROFESSIONAL LAND SURVEYOR WHICH SHALL BE ENGAGED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER REPRESENTATIVE OF ANY PORTION OF THE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN UNFORESEEN CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION STANDS ON HIS OR ANY CLAIMS IS TO PAY FOR A REVISED ENGINEERING.
11. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING ALL QUANTITIES, TAKE-OFF MEASUREMENTS, MATERIALS, ETC. DURING THE PROCESS OF THEIR DETERMINATION OF COST, THE PROVISION, PLAN TAKES PRECEDENCE. THE OWNER'S AUTHORIZED ARCHITECT, OR UNITY, DOES NOT PROVIDE MEASUREMENTS NOT TO BE A MEASUREMENT FOR BIDDING PURPOSES TO THE SPECIFICATIONS OR PLANS.
12. THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO WITHIN 25 FEET OF CONSTRUCTION THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGES OUTSIDE THE LIMITS OF CONSTRUCTION.
13. CONTRACTOR IS REQUIRED THAT THE U.S. ENVIRONMENT PROTECTION AGENCY REQUIRES "NOT ALL OPERATORS FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MORE THAN ONCE DURING PERMIT PRIOR TO BEGINNING WORK. THE THE CONTRACTOR'S SOLE RESPONSIBILITY TO CARRY THE SAME. A COPY SHALL BE SENT TO THE PROJECT OFFICER, ENGINEER OF RECORD AND THE OWNER.
14. PROPER LANDFILL SELECTION OF UNDERGROUND UTILITIES MANDATES THAT THE CONTRACTOR SHALL COMMENCE ON PRELIMINARY DRAWING WITHOUT PRIOR APPROVAL OBTAINED FROM CONSIDERING THE POSSIBLE LOCATION OF GAS PIPE, WITH THE AIM OF PREPARED ENGINEERING THE DRAWING ELEVATION THE AND SHALLOW A MINIMUM OF 2 INCHES OR ABOVE A MINIMUM OF 2 INCHES DAYS PRIOR TO ENGAGEMENT.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE IF THERE IS ELECTRICAL INTERFERENCE ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL PLANS ELEMENTS INCLUDING BUT NOT LIMITED TO LANDSCAPE, IRRIGATION, SITE LIGHTING, BUILDING FOUNDATION, PLUMBING, FIRE SPRINKLER, AND OTHER APPLICABLE PLANS, AND COORDINATE INFORMATION AND ALERT OWNER'S REPRESENTATIVE OF ANY CONFLICTION RESOLUTION.
17. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL IRRIGATION, STREET, MAINLINE, AND INTERSECTION. CONSULT THEY ARE IN CONFLICT WITH ANY PROPOSED CONSTRUCTION, AND SHALL RESOLVE CONFLICT ACCORDINGLY. COST OF CONFLICT RESOLUTION SHALL BE REQUIRED BY THE OWNER.
18. ANY DEBRIS RESULTING FROM STRIPPING AND SIMILAR OPERATIONS SHALL BE REMOVED FROM SITE AT FREQUENT INTERVALS TO PREVENT THE ACCUMULATION FROM ACCUMULATING ON SITE.
19. UPON REMOVAL OF TREES, THE USE OF ANY STUMP GRINDER, DO NOT GRINDER THAT TRUNK DO NOT BE DONE THE SMALL REMAIN REMOVE FOR PURPOSE AN UNDERGROUND STRUCTURE OR UTILITY LINE OR UNDERGROUND STRUCTURE OR PAVED AREAS.
20. THE CONTRACTOR SHALL REPAIR ALL DAMAGED VEGETATION BY THE UNLESS SHOWN OTHERWISE

INTERRUPTION OF EXISTING UTILITIES

ANY CONSTRUCTION WORK THAT REQUIRES INTERRUPTION OF SERVICE TO ANY CUSTOMER SHALL BE DONE WITH A MINIMUM OF SEVENTY-TWO (72) HOURS NOTICE TO, AND WRITTEN APPROVAL BY THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL ARRANGE A MEETING IN THE LOCAL JURISDICTION, AS NEEDED, AND WITH ANY OTHER AGENCIES, AND SHALL SUPPLY ALL LABOR TO BE DONE. NO WORK SHALL BE BEGUN TO BEGIN THE SCOPE OF WORK. ALL SYSTEM SHUT DOWNS SHALL BE SCHEDULED BY THE CONTRACTOR AT ONCE TIME THAT INTERFERENCE IS LOW. THE WORK WILL BE REQUIRED SHORT TIME WORK BY THE CONTRACTOR AND REQUIRED FULL TIME SUPERVISION BY A REPRESENTATIVE OF THE UTILITY. ALL COST FOR CONSTRUCTION BY THE REPRESENTATIVE OF THE UTILITY SHALL BE BORNE BY THE CONTRACTOR. SHOP DRAWINGS APPROPRIATE THE SHUT DOWN SHALL BE PROVIDED, MINIMUM, FORTY-EIGHT (48) HOURS WRITTEN INFORMATION BY THE CONTRACTOR

SURVEY DATA

1. ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29)
2. THE CONTRACTOR SHALL PROVIDE ALL PROJECT ALL PERMANENT BENCHMARKS AND WITH ALL PROCEDURES NECESSARY TO AVOID DAMAGE TO SUCH MARKS DURING CONSTRUCTION. ANY SURVEY MARKING DRAINAGE DURING CONSTRUCTION WILL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF SURVEY CONTRACTOR SHALL VERIFY THE CONDITIONS AT TIME OF CONSTRUCTION

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL, COUNTY OR STATE SPECIFICATIONS AND STANDARDS. ALL SITE WORK ON PRIVATE PROPERTY SHALL BE IN ACCORDANCE WITH LOCAL, COUNTY OR STATE CODES IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS, THEN SITE IS NOT REPRESENTED
2. ALL APPROVED AREAS DESTROYED BY CONSTRUCTION SHALL BE REPAIRED AND RESTORED, UNLESS OTHERWISE NOTED.
3. TRAFFIC CONTROL SHALL FOLLOW LOCAL AND COUNTY REGULATIONS. ALL THE REGULATIONS OF THE LOCAL OR COUNTY TRAFFIC CONTROL OFFICE IS A DEFINED AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS CONFLICT IN ANY REGARD, THE MORE STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL CLEAN THE SITE TO THE ELEVATIONS SHOWNED AND FILL PROVIDING WEATHERWEAR THEY DOWN AFTER EVERY RAINFALL UNTIL A GRASS WHICH WILL INSTALLED ON AREAS TO BE SUBMITTED.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED WITH BAHIA SOD UNLESS PROVIDED OTHERWISE ON THE PROVISIONS ON LANDSCAPE PLANS.
6. ALL AREAS DISTURBED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS REQUIRED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM OF 2 FEET IN A STRAIGHT AND SMOOTH JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS SPECIFIED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT TO THE NOT SHOWN
9. THE CONTRACTOR SHALL INSTALL PERFORATED ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND THEN, ACCORDING TO THE PROJECT TO THE OWNER. ALL DRAINAGE STRUCTURES AND PIPE WITHIN THE LIMITS OF CONSTRUCTION SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOW.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS FOR CONSTRUCTION IS TO COORDINATE WITH THE OWNER AND THE ENGINEER PRIOR TO ANY EXCAVATION.
11. CONTRACTOR TO STEP SLOPES, AND CHANGE METER PROFILE. AREAS OF THE SITE AS NEEDED FILL IN SLOPE CHANGE TO PROVIDE A MINIMUM ELEVATION FOR PLACEMENT WITH LANDSCAPE AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD CONTROL VERIFIED TO TRACK AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY UP TO FOUR INTERVALS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED AS PER PLANS. THE LAWN SHALL BE FREE OF ANY DEBRIS AS SPECIFIED IN THE PLANS, REPLANTS, MULCHES, TREES, AND MAINTAINED WITH A GOOD STAND OF GRASS GROWN IN STRONG ROOTS ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE COMPLETELY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
14. ALL CUT OR FILL SLOPES SHALL BE 4 HORIZONTAL : 1 VERTICAL OR FLATTER UNLESS OTHERWISE SHOWN
15. THE CONTRACTOR SHALL ENSURE THAT SOUND PLANTING AREAS AND OTHER PLANTED AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROCK OR SOME MATERIALS. THE CONTRACTOR SHALL ALSO ENSURE THAT AND ENSURE ALL INCORPORATE WATERING PROFILE AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS BIDDING AND INFORMATION CONTROL PLAN, THE STANDARD DETAILS, AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS PROVIDED BY THE CONTRACTOR.
2. ALL CONTRACTORS AND SUBCONTRACTORS HAVE VIEWED STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA BATCHES, POLLUTION CONTROL ELIMINATION SYSTEM (NPDES) PERMIT AND ENSURE COMPLIANCE WITH WHICH CONTRACT.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMPS) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REGULATIONS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER
5. EROSION AND SEDIMENTATION CONTROL PLAN MUST CLEARLY DELINEATE ALL STORMWATER PERMITS FOR ANY CONSTRUCTION ACTIVITY INVOLVING LAND WATER OR RESULTING REPLACEMENT MUST BE MAINTAINED ON SITE AT ALL TIME.
6. THE CONTRACTOR SHALL SPRINKLE CLEANED TO THE MAXIMUM EXTENT PRACTICAL OR AS NECESSARY THE ESSENTIAL PERMIT.

   CONTRACTOR SHALL REVIEW ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT WASHDOWN AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND FUELS ENGINEER
7. ALL MUDDY WATER CONTAINED TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE CLEANED AND PROPERLY TREATED OR DISPOSED
8. SUPPORTING OIL AND GREASE ABSORBENT MATERIALS AND POLLUTION CONTROL SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEANUP FUEL OR CHEMICAL SPILLS AND LEAKS
9. RUBBER, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIAL SHALL BE PREVENTED FROM BLOWING THE PROJECT THROUGH THE ACTION OF WIND OR DISCHARGED INTO STORM WATER OR OTHER OR WATERS OF THE STATE.
10. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESCRIBED IN THE PLAN, SHALL BE INSTALLED AS SOON AS PRACTICABLE.
11. STABILIZATION PROCESS SHALL BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
12. EXPOSED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED
13. IF THE AUTHORITY OF THE LOCAL TRAFFICKING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TRUCKS MUST BE CLEANED BEFORE THE VEHICLES ENTER PUBLIC ROADS. IF NECESSARY TO REMOVE, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS DISCHARGED ON THE SITE
14. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO LAND MUST BE REMOVED AND DISPOSED OF IN A MANNER AS SOON AS POSSIBLE
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ACCURACY OF THE DETENTION POND AND ANY ATTENDANT WATER WHICH CONTAINED TO THE STORMWATER DRAINAGE SYSTEM IN CONJUNCTION WITH THE STABILIZATION OF THE SITE
16. ON-SITE A OUT-SITE WASTE, STOCKPILE AND BORROW AREAS SHALL BE PROVIDED FROM EROSION AND SEDIMENTATION IN NORMAL IMPLEMENTATION OF BEST MANAGEMENT PRACTICES STOCKPILE AND BORROW AREA LOCATIONS SHALL BE REVIEWED THE ENGINEER AND SEDIMENTATION CONTROL PLAN AND REPLACE IT IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS
17. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
18. DUE TO SHORT CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL THE EROSION CONTROL MEASURES AS NECESSARY AS CONSTRUCTION PROCEEDS ONLY PERMITS, STOP TO PREVENT EROSION
19. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF CONSTRUCTION DAY. THE MAILBOX DECK PLANS OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR SOIL MUST BE FOUND FOR RECONSTRUCTION
20. EROSION AND SEDIMENTATION CONTROL PLANS PROVIDED HEREIN ARE A SUGGESTION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING THE FINAL STORM WATER POLLUTION PREVENTION PLAN. THE PLAN SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW. THE CONTRACTOR SHALL IMPLEMENT AND PROTECTION THE WILL BE REQUIRED TO PROTECT THE CONSTRUCTION SITE AND SURROUNDING AREA DURING CONSTRUCTION. THE PLAN SHALL BE CONSISTENT WITH FEDERAL, NATIONAL, POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS PERTAINING TO POLLUTION PREVENTION PLANS. THE PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, THE LOCATIONS OF SILT BARRIERS, TURBIDITY BARRIERS OR TEMPORARY SPECTRAL, EMERGENCY REPAIR SEDIMENTATION BASINS, AND OTHER PROTECTIVE MEASURES. THE PLAN SHALL BE FILED WITH ALL APPLICABLE REGULATORY AGENCIES PRIOR TO THE PRODUCTION WORKS. BE PRIOR TO ANY DEMOLITION, CONTRACTOR TO HAVE LANDSCAPE PLAN FOR THE PROTECTION FROM PLANTS. ALL TREES TO REMAIN UNLESS OTHERWISE NOTED. CONTRACTOR TO WRITE EXISTING TREES TO REMAIN, SHOULD ANY TREE TO BE REMAIN BE DAMAGED BY THE CONTRACTOR, IT WILL REQUIRE REPLACEMENT BY FIRM
21. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ANY ADDITIONAL PAVEMENT TO DISCUSS OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND
22. ALL MAINTENANCE OPERATIONS SHALL BE DONE BY A TIMELY MANNER BUT IN NO EVENT LATER THAN 2 CALENDAR DAYS FOLLOW ANY THE INSPECTION.

PRECONSTRUCTION RESPONSIBILITIES

1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE WITH THE OWNER'S REPRESENTATIVE, ENGINEER, ALL APPROVED UTILITY OWNERS, THE OWNER, THE PARKS AND WILDLIFE
2. THE CONTRACTOR SHALL CONTACT "SUNSHINE" (1-800-432-4770 FLORIDA, NO. 811) AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING ANY EXCAVATION
3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.

   EXISTING UTILITY COVERAGE SHOWN ON THE PLANS ARE APPROXIMATE. THE OWNER'S ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY UNSHOWN UTILITIES NOT SHOWN.
4. IF UPON EXCAVATION, AN UNKNOWN UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLAN, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER

CONSTRUCTION SAFETY

1. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER. SPECIFICALLY, THE MEANING VIOLATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE NAMING OF DEPUTY TRAFFIC CONTROL OFFICER (DTCO) SHALL BE STRICTLY ENFORCED

TRENCH SAFETY ACT

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH SAFETY ACT

1. WHERE EXCAVATIONS TO A DEPTH IN EXCESS OF FIVE FEET ARE REQUIRED, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION IN THE BID
   A. A DESCRIPTION TO THE TRENCH SAFETY STANDARDS THAT WILL BE IN EFFECT DURING THE PERIOD OF CONSTRUCTION OF THE PROJECT.
   B. WRITTEN ASSURANCE BY THE CONTRACTOR FOR COMPLIANCE THE TRENCH SAFETY ACT WHICH CONTRACTOR WILL COMPLY WITH THE APPLICABLE TRENCH SAFETY STANDARDS.
   C. A SEPARATE BID ITEM THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY STANDARDS
2. WHEN A BID OF FIVE FEET OR THE CONTRACTOR SHALL SUBMIT THE INFORMATION LISTED IN ITEM "1" TO THE ENGINEER PRIOR TO STARTING WORK

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. PALMS, STRUCTURES, HOUSES, ALL EXISTING SIGNS, STRUCTURES, GLASS, CONCRETE, ASPHALT, DEBRIS PILES, TRUCKS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AND PART OTHER COMMON SCHEDULE TO BE REMOVED ANY NOTICE DEPARTMENT TO PERFORM SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET THE NEED AND DETERMINE THE FULL COST OF TIME TO BE REMOVED IF ANY ITEM ARE IN QUESTION. THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SUCH ITEMS
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION REQUIREMENTS OF EXISTING TREES. ALL TREES NOT PERMANENTLY SHOWN TO BE REMOVED OR RELOCATED SHALL BE PROTECTED AS A PART OF THE CONTRACT. THE PROTECTION REQUIRED SHALL BE DESIGNED AND PRIOR TO ANY DEMOLITION. CONTRACTOR TO HAVE LANDSCAPE PLAN FOR THE PROTECTION FROM PLANTS. ALL TREES TO REMAIN UNLESS OTHERWISE NOTED. CONTRACTOR TO WRITE EXISTING TREES TO REMAIN, SHOULD ANY TREE TO BE REMAIN BE DAMAGED BY THE CONTRACTOR, IT WILL REQUIRE REPLACEMENT BY FIRM

MAINTENANCE

1. ALL EQUIPMENT STORED ON THE SITE SHOULD BE MAINTENANCE OF VEHICLE, PLANT, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, WILL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL TRENCHES AND SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED BY A QUALIFIED PERSONNEL AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING
2. SILT PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR END BREAKDOWN. SILT PROTECTION DEVICES SHALL BE CLEANED OUT AT RESULTS IN 1/2 FULL OF THE DEVICE FULL OR BETTER.
3. ALL WETLANDS AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED AND REPLACED, WATERED AND MAINTAINED AS NEEDED
4. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE
5. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ANY ADDITIONAL PAVEMENT TO DISCUSS OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND
6. ALL MAINTENANCE OPERATIONS SHALL BE DONE BY A TIMELY MANNER BUT IN NO EVENT LATER THAN 2 CALENDAR DAYS FOLLOW ANY THE INSPECTION.

MINIMUM REQUIRED AS-BUILT INFORMATION

1. ALL ASBUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR, AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDED IS A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED

   STORMWATER
   A. TOP OF PIPE INVERT OF EACH MANHOLE, PIPE AND OTHER ABOVE AS WELL ALL OTHER STRUCTURE ENGINEERS, CONTROL STRUCTURES, ETC.
   B. INVERT ELEVATION OF EACH LINE STORMWATER AND LEAVING EACH STRUCTURE, ENGINEERS LENGTHS PIPES
   C. INVERTS OF ALL INTERIOR END POINTS
   D. ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES
   E. INVERT ELEVATION ANY TRIO HORIZONTAL TEE PIPE PAVEMENT WORKS OBJECT TO ALL STORM SEWERS
   F. CONTRACTOR SHALL PROVIDE ACCURATE ASBUILT DRAWINGS AND ELEVATIONS OF THE STORM WATER MANAGEMENT AREAS MEASUREMENTS AFTER PIPE, GRADING AND MACH TO REVIEW OR SCREEN OF THE BLOCK AT A MINIMUM, THE CONTRACTOR SHALL PROVIDE CROSS-SECTIONS OF ALL SEDIMENT BASINS, INVERT AREAS AT 100-FOOT INTERVALS THE CROSS SECTIONS SHALL BE PROVIDED FROM TOP OF BANK TO THE BLOCK BREAK BELOW CONTROL ELEVATION THE INVERTED APPROVAL IS REQUIRED PRIOR TO CHANGE OF THE BANK IF ANY MODIFICATIONS ARE SPECIFIED, ADDITIONAL ASBUILTS MAY BE REQUIRED.

   LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES
   REFERENCE TO ADJACENT PAVED AND GROUND
   REFERENCE TO MONUMENT, DRIVEWAY
   ACTUAL CURVATURE LOCATIONS
   ADVANCED NOTE BY CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE
2. CHANGES MADE FOLLOWING ENGINEER'S WRITTEN ORDERS.
3. DETAILS NOT ON THE ORIGINAL CONTRACT DRAWINGS.
4. FIELD REVISIONS FOR VARIABLE AND CONCEALED CONDITIONS
5. ALL SLEEVES, FITTINGS, TEES, BENDS, VALVES, ETC. SHALL BE LOCATED BY METHODOLOGY OR METHOD APPROVED BY ENGINEER AND SUPERVISION OF TOP OF PIPE FOR ALL CONSTRUCTED SLEEVES. ASBUILTS FOR ALL SLEEVES DEPICTING TOP OF PIPE AT 100-FOOT INTERVALS MUST BE PROVIDED.
6. INTERIOR DRAWINGS SHALL INCLUDE ASBUILT DATA FOR EVERY ELEVATION SHOWN ON THE PLANS
7. IF A NEW BENCHMARK LOCATION IS ESTABLISHED, CONTRACTOR SHALL PROVIDE A CLOSED LOOP CLOSURE TO THE SURVEY SYSTEM BENCHMARK IN BOTH DIRECTIONS. ALL BENCHMARK TRUE ASBUILT SHALL BE SUBMITTED BY A REGISTERED SURVEYOR
8. EQUIPMENT LOCATION AND ELEVATION TO BE ASBUILT DURING WORKING PERIOD
9. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ASBUILT DATA PRIOR UTILITY AND ENGINEER IS COLLECTED PRIOR TO PAVEMENT BINDER COMMENCING. FIELD WORK ONLY AS-BUILT MAY BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO PAVEMENT BINDER CONSTRUCTION

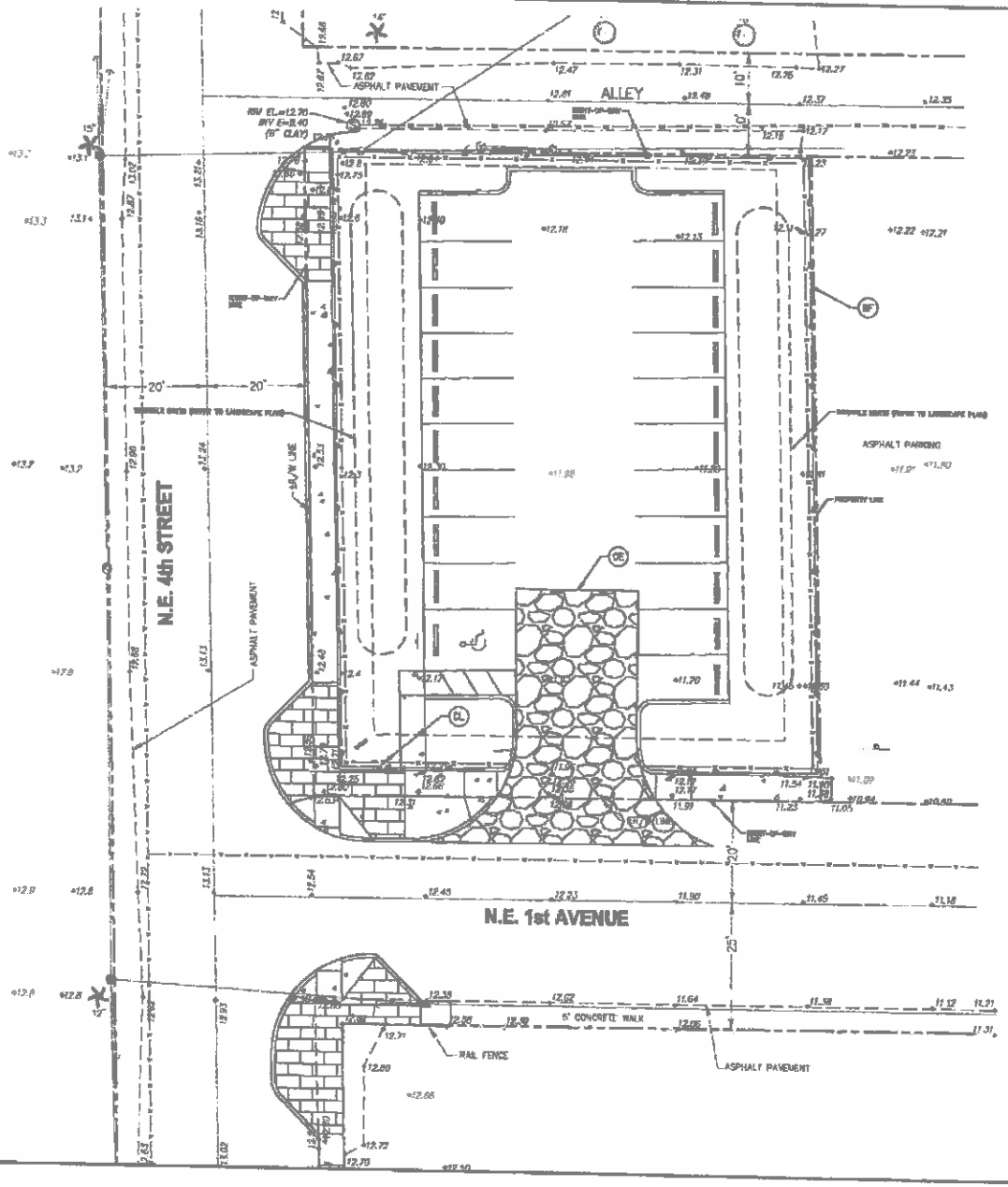
THE PRESENCE OF UNDERGROUND UTILITIES MAY BE UNKNOWN. CONTRACTOR TO SHALL EXERCISE CONSIDERATION FOR ADDRESSING THE ISSUE AND OBTAINING ALL NECESSARY PERMITS.

CALL 2 WORKING DAYS BEFORE YOU DIG IT'S THE LAW DIAL 811

811 Know what's below. Call before you dig.

UTILITY CONTACT INFORMATION

COMPANY	CONTACT PERSON	TELEPHONE NUMBER
CITY OF BOYNTON BEACH	SHANE TOMPKINS	TEL. 561-742-6013
BOYNTON COMMUNICATIONS	RANDY ADAMS	TEL. 561-732-7751
FLORIDA POWER & LIGHT	TRACY STEAN	TEL. 561-686-6504
FLORIDA PUBLIC UTILITIES CO.	MAX BARTFIELD	TEL.



LEGEND

WOOD FENCE

CHAIN LINK FENCE

SILT FENCE

SEQUENCE OF CONSTRUCTION:

Kimley»Horn

EROSION AND SEDIMENTATION CONTROL PLAN

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

SHEET NUMBER
C2.00

K-H

K-H

K-H KIMLEY-HORN AND ASSOCIATES DETAIL

NOTE: DETAILS ARE INCLUDED FROM THE ENTITIES LISTED ABOVE AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL OBTAIN AND CONFORM WITH THE LATEST STANDARDS AND DETAILS.

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

EROSION AND SEDIMENTATION CONTROL DETAILS

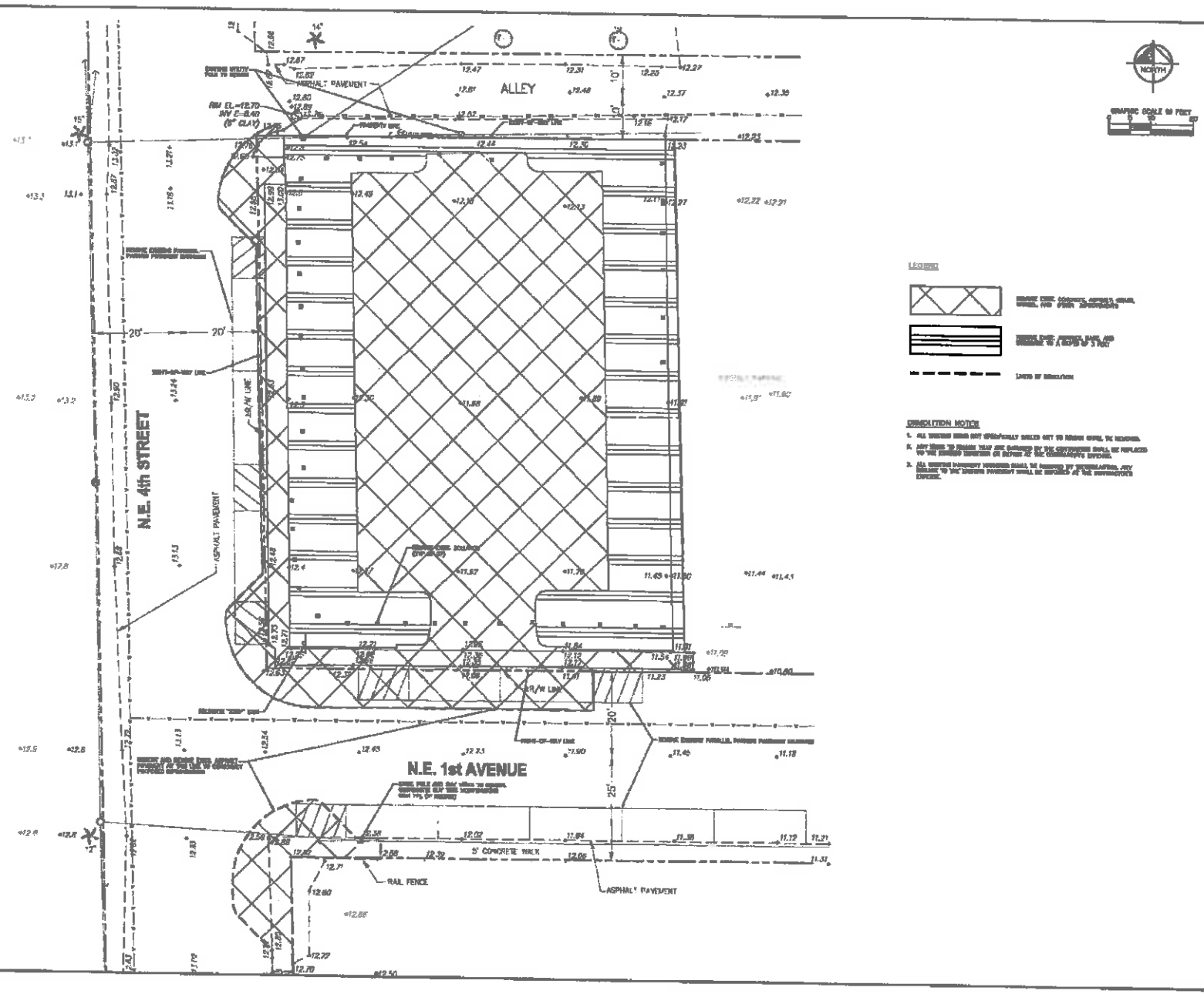
SHEET NUMBER C2.01

Kimley»Horn
© 2010 KIMLEY-HORN AND ASSOCIATES, INC.
7900 S CONGRESS AVE, SUITE 100, DELRAY BEACH, FL 33446
PHONE: 561-330-2646 FAX: 561-330-2675
WWW.KIMLEY-HORN.COM CA 00000818

LICENSED PROFESSIONAL
JASON A. WEBER
PE
NO. 73962
STATE OF FLORIDA

KHA PROJECT	043172017
DATE	AUG. 2013
DESIGNED BY	JJ
DRAWN BY	MJW
REVIEWED BY	JAW
APPROVED BY	JAW

No.	REVISIONS	DATE	BY

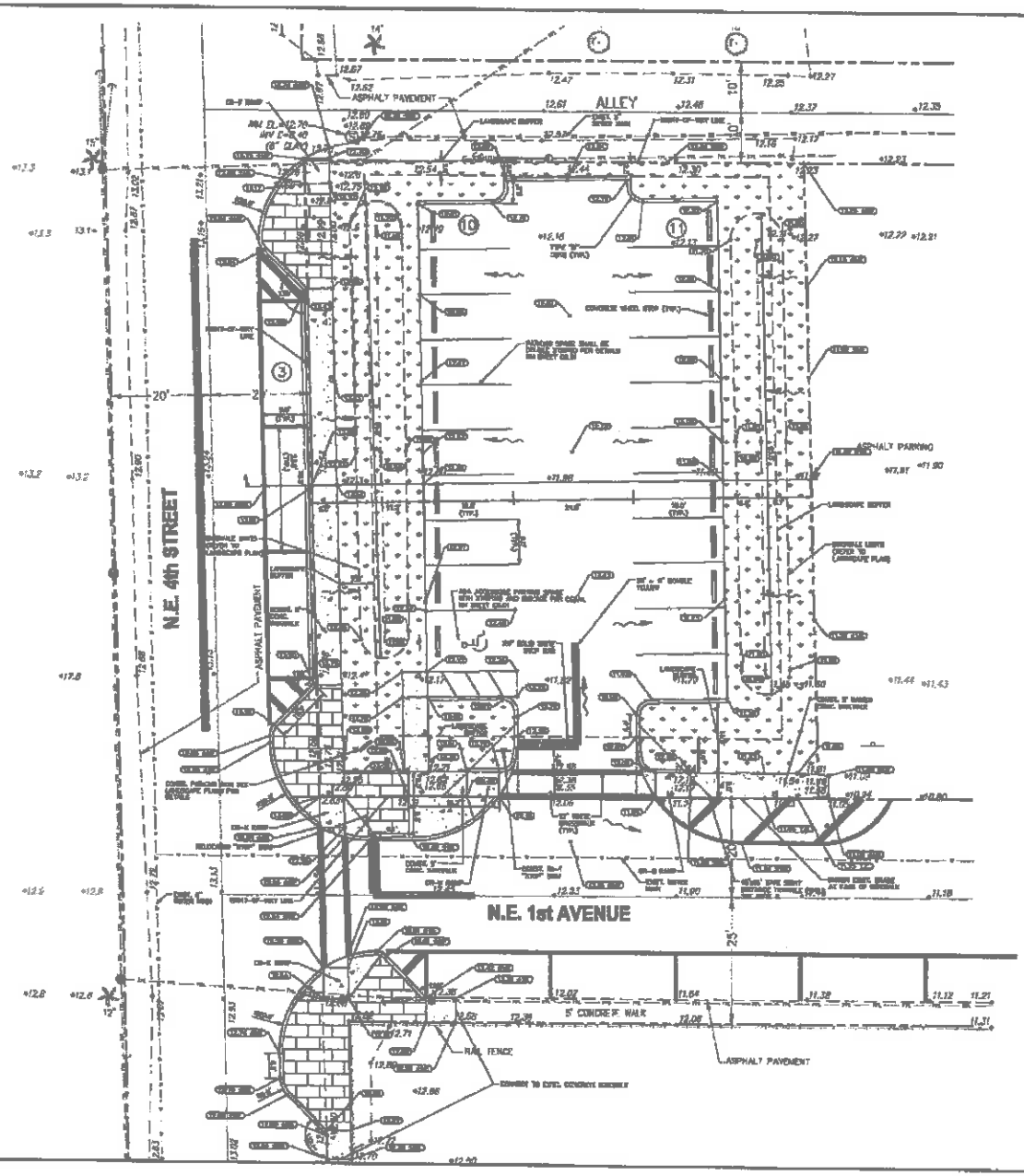


Kimley»Horn

DEMOLITION PLAN

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

SHEET NUMBER
C3.00



SITE DATA

PROPERTY SIZE		
ZONING DESIGNATION / FUTURE LAND USE	CBD – DOWNTOWN BEACH / DOWNTOWN BEACH MIXED USE (MU)	
TOTAL PROPERTY AREA	EXISTING	PROPOSED
IMPERVIOUS AREA		
PERVIOUS AREA		
BUILDING AREA		
LANDSCAPE SURVIVAL	MINIMUM	PROVIDED
FICUS	7	14
SOE (CAES)	7	7
SOE (MAXI)	7	7
ROYA	7	37 (SEE LANDSCAPE PLAN FOR ALTERNATE)
PARKING SPACES:	REQUIRED	PROVIDED
STANDARD	N/A	20 SPACES
ACCESSIBLE	N/A	1 SPACES
STREET PARKING	N/A	3 SPACES
TOTAL PARKING	N/A	24 SPACES

NORTHWEST ASPHALTED CONCRETE. (REFER TO DETAIL ON SHEET C5.00)

CONCRETE SIDEWALK (REFER TO DETAIL ON SHEET C5.00)

PAVERS (REFER TO DETAIL ON SHEET C5.00)

LANDSCAPED AREA (REFER TO SHEET L1.00)

FLOW ARROW

PROPOSED ELEVATION

EXISTING ELEVATION

PROPOSED SPOT ELEVATION

NOTES:

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB FOR TYPE "D" CURB OR EDGE OF PAVEMENT FOR NO CURB UNLESS OTHERWISE NOTED.
2. TYPE "D" CURB SHALL BE CONSTRUCTED PER FDOT INDEX 300. ALL TYPE "D" CURB SHALL HAVE A 3' EXPANSION TRANSITION AT THE BEGINNING AND ENDING POINTS.
3. ALL MAIN AND 1" METERED SERVICE NOTED.
4. ALL PLANS SUBMITTED FOR PERMITTING SHALL MEET THE CITY'S CODES AND THE APPROVALS BEARING WHICH IS EFFECT AT THE TIME OF PERMIT APPLICATION.
5. ALL CURB RAMPS, CROSSWALKS, AND PARKING SPACES SHALL BE PERMANENTLY ALL PARKING TYPE SPACES SHALL BE PAINT. REFER TO SHEET C5.00 FOR DETAILS OF ALL CURBS WITH THE FACE-OF-CURB.
6. ALL VEHICULAR PAVING SHALL BE CONSTRUCTED PER DETAILS.
7. ALL SIGNS, SIGNS AND PAVEMENT MARKINGS SHALL BE PLACED WITH SIGNS AND PAVEMENT MARKINGS SHALL BE PLACED AND THE BOTH OF THE SIDEWALK FOR DOWNTOWN BEACH PEDESTRIANS. ALL PAVEMENT MARKINGS SHALL BE YELLOW THERMOPLASTIC OR APPROVED EQUAL SURFACE APPLIED WITH GLASS BEADS.
8. THE CONSTRUCTION PLANS SHALL COMPLY WITH THE CITY OF DOWNTOWN BEACH DEVELOPMENT REVIEW PROCESS AND CONSTRUCTION STANDARDS, DETAIL T-1.
9. THE CROSS SLOPE ON ANY ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%. THE LONGITUDINAL SLOPE ON ANY ACCESSIBLE ROUTES (ANY ACCESSIBLE RAMPS SHALL NOT EXCEED 8.3%. THE LONGITUDINAL SLOPE FOR ALL RAMPS SHALL NOT EXCEED 10.0% (1:10).
10. PROPOSED ELEVATIONS OF ALL PROPOSED SPOTS REPRESENT FINISHED TOP OF PAVEMENT OR ANY OTHER LANDSCAPING MATERIAL.
11. ALTERNATE TO REPLACE ALL PROPOSED WHITE PAVERS WITH 4" THICK UNREINFORCED CONCRETE PAVEMENT (LIKE FOR THE COMPACTOR REPAIRS).

PLANS ARE IN NGVD 1929 DATUM
CONVERSION EQUATION IS BELOW:
(NGVD 1929) – 1.92' = (NAVD 1988)

REV.	REVISIONS	DATE	BY

Kimley»Horn

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LICENSED PROFESSIONAL
"JOHN A. KOSSER"
FLORIDA LICENSE NUMBER 72942
DATE: —

PROJECT NO. 043176017
DATE AUG. 2016
SCALE AS SHOWN
REVISED BY JJC
DRAWN BY BDM
CHECKED BY JKW

ENGINEERING PLAN

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

SHEET NUMBER
C4.00

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT PREPARED FOR BOYNTON BEACH CRA

BOYNTON BEACH FLORIDA

SIGNING AND PAVEMENT MARKING PLAN

C5.00

Kimley»Horn

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PHONE: 561-338-3300 FAX: 561-483-2709
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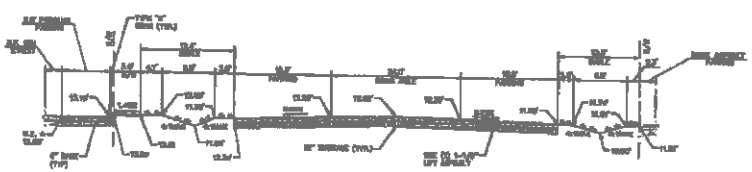
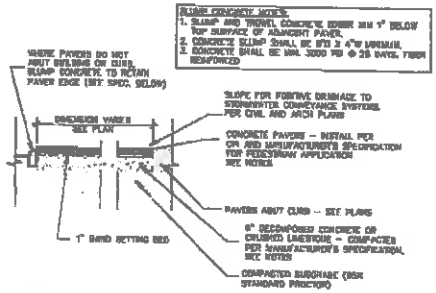
JOHN P. KILLEBREW
LICENSED PROFESSIONAL ENGINEER
72063

DATE
AUG. 2015

NO. REVISIONS BY DATE

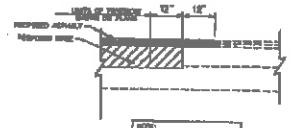


SECTION A-A
NOT TO SCALE



NOTES:
1. CONCRETE PAVERS BY OLD CASTLE COASTAL (800)226-0004 (or approved equal)
1.1. PAVER FIELD – HOLLAND STONE 4X8, 2-3/8" THICK, COLOR: BIRCHWOOD BLEND (RED/TAN/CHARCOAL/GREY CEMENT)– INSTALL IN HERRINGBONE PATTERN
1.2. BORDER BAND SURROUNDING PAVER FIELD – 8X8, 2-3/8" THICK, COLOR: BIRCHWOOD BLEND (RED/TAN/CHARCOAL/GREY CEMENT)
**INSTALLATION STYLE TO MATCH PAVER LAYOUT ON OCEAN AVENUE
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND COLOR SAMPLES FOR OWNER'S REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
3. PAVERS SHALL BE SWEPT WITH "BOHERMAL POLYMERIC SAND AND SEALED WITH A WATER-BASED SEALANT. PROVIDE SAMPLE OF SEALANT ON PAVERS FOR OWNER TO APPROVE PRIOR TO SEALING ENTIRE PROJECT.
4. REFER TO CIVIL PLANS FOR GRADING.
5. REFER TO KCH TECHNICAL SPECIFICATION NUMBER 2 "CONSTRUCTION OF INTERLOCKING CONCRETE PAVEMENTS" FOR INSTALLATION SPECS.

CONCRETE PAVERS-PEDESTRIAN
NOT TO SCALE
K-H



PAVEMENT MATCHING DETAIL
NOT TO SCALE
K-H

ASPHALT TO CONCRETE PAVEMENT TRANSITION DETAIL
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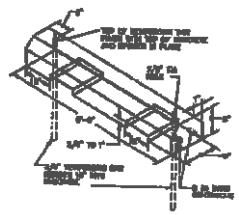
K-H



CONCRETE WHEEL STOP
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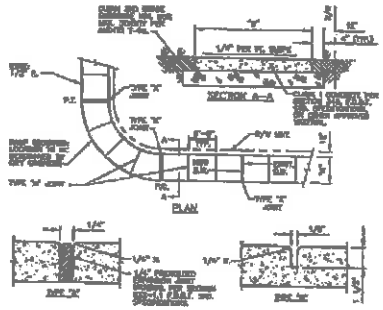
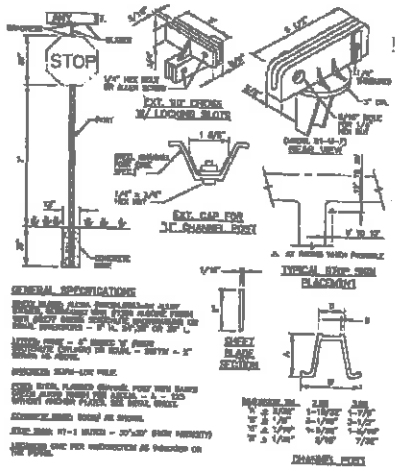


SIDEWALK JOINT

TABLE OF EXPANSION JOINTS	
[illegible]	4"
[illegible]	6"
[illegible]	2"

TABLE OF SIDEWALK JOINTS	
TYPE	SPACING
"A"	[illegible]
"B"	[illegible]
"C"	[illegible]

SIDEWALK CONSTRUCTION DETAIL
NOT TO SCALE
BB



GENERAL SPECIFICATIONS

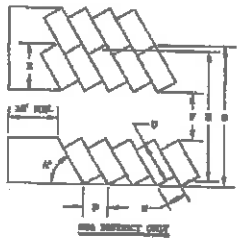
STREET SIGN/POST INSTALL DETAIL
NOT TO SCALE
BB

TABLE OF DIMENSIONS				
A	B	C	D	E
40'	17'-0"	10'-0"	10'-0"	10'-0"
45'	17'-0"	10'-0"	10'-0"	10'-0"
50'	17'-0"	10'-0"	10'-0"	10'-0"
55'	17'-0"	10'-0"	10'-0"	10'-0"
60'	17'-0"	10'-0"	10'-0"	10'-0"

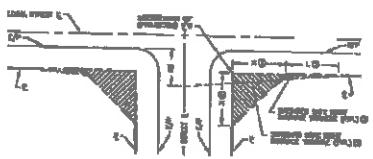
DEFINITIONS	
A	ANGLE
B	STALL WIDTH
C	STALL LENGTH
D	CURB LENGTH
E	STALL DEPTH
F	AISLE WIDTH
G	WALL TO WALL WIDTH
H	SUBBLOCK TO SUBBLOCK WIDTH

TABLE OF DIMENSIONS																							
[illegible]																							
A	B	C	D	E	F	G	H	A	B	C	D	E	F	G	H	A	B	C	D	E	F	G	H
0°	12'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	0°	12'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	0°	12'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"
45°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	45°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	45°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"
50°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	50°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	50°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"
55°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	55°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	55°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"
60°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	60°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"	60°	17'-0"	20'-0"	12'-0"	12'-0"	12'-0"	36'-0"	48'-0"

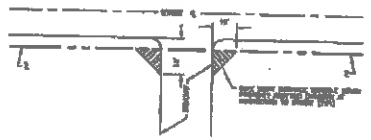
NOTE: ALL DIMENSIONS ARE IN FEET.



PARKING STALLS (CRA ONLY)
NOT TO SCALE
BB



STREET INTERSECTION



DRIVEWAY CONNECTION TO STREET

SAFEGUARD DISTANCE TRIANGLES
NOT TO SCALE
BB

BB — CITY OF BOYNTON BEACH STANDARD DETAIL

K-H — KIMLEY-HORN AND ASSOCIATES DETAIL

NOTE: DETAILS ARE INCLUDED FROM THE ENTITIES LISTED ABOVE AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL OBTAIN AND CONFORM WITH THE LATEST STANDARDS AND DETAILS.

No.	REVISIONS	BY	DATE

Kimley»Horn
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
1920 S CONGRESS AVE, SUITE 200, BOYNTON BEACH, FL 33426
PHONE: 561-540-1946 FAX: 561-540-1948
WWW.KIMLEY-HORN.COM CA 0000096

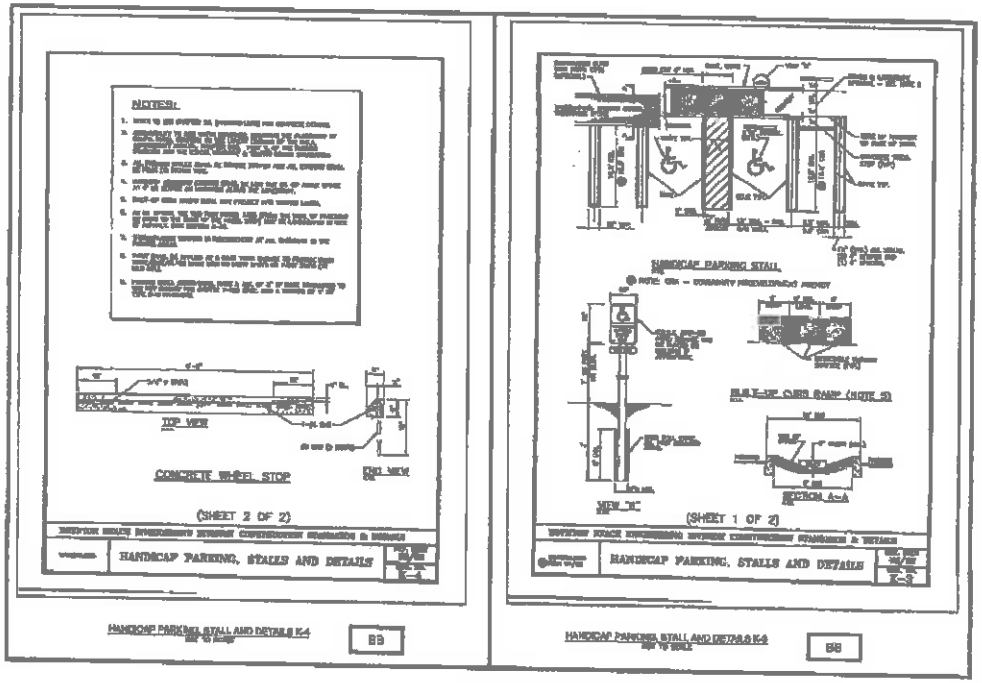
LICENSED PROFESSIONAL: JOSHUA A. NORDER
FLORIDA LICENSE NUMBER 73943

KHA PROJECT 069279017
DATE AUG. 2019
SCALE AS SHOWN
DESIGNED BY JAN
DRAWN BY PRM
CHECKED BY JAN

CONSTRUCTION DETAILS

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

SHEET NUMBER
C6.00



BB	CITY OF BOYNTON BEACH STANDARD DETAIL
K-H	KIMLEY-HORN AND ASSOCIATES DETAIL

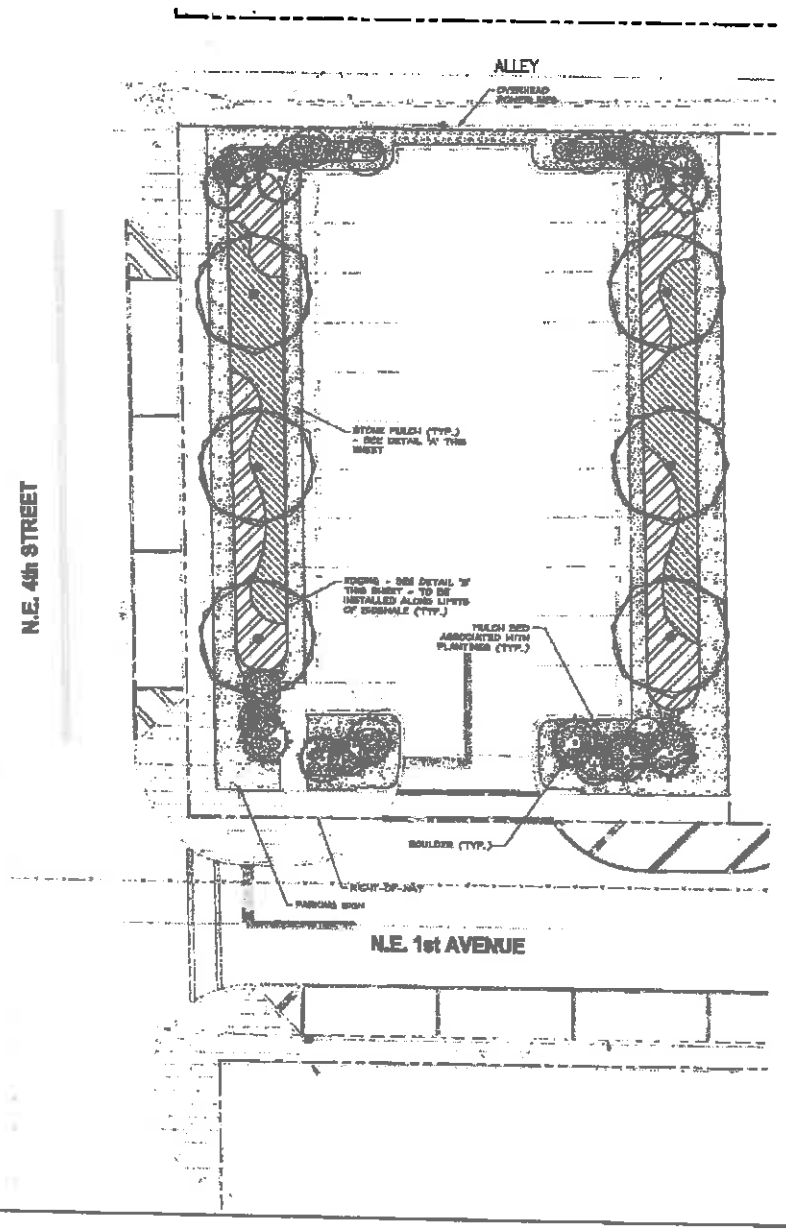
NOTE: DETAILS ARE INCLUDED FROM THE ENTITIES LISTED ABOVE AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL OBTAIN AND CONFORM WITH THE LATEST STANDARDS AND DETAILS.

Kimley»Horn

CONSTRUCTION DETAILS

NE 4TH STREET & NE 1 ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

SHEET NUMBER
C6.01



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REM.
	Quercus virginiana	Southern Live Oak	B & B	4" Cal.	MIN 7' X 7'SPR	6
	Sabal palmetto Stick Trunk	Cabbage Palmetto	F.G.		18' - 22' CT	10
	Thrinax radiata Double Trunk	Florida Thatch Palm	Cont.		8' OA	11

SHRUBS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	REM.
	Aechmea blanchetiana 'Raspberry'	Raspberry Bromeliad	7 gal	As Shown	18"x18"	7
	Furcraea foetida 'Variegata'	False Agave	7 gal	As Shown	18"x18"	
	Neoregelia x Fairie	Fairie Bromeliad	1 gal	As Shown	10" - 12" spr, full	80
	Neoregelia x 'Gazpacho'	Gazpacho Bromeliad	1 gal	As Shown	10" - 12" spr, full	102

SHRUB AREAS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	REM.
	Sporobolus indicus	Seed Cord Grass	Cont.	36" O.C.	18" H.	
	Trimasem Floridana	Dwarf Muhlenbergia Grass	Cont.	30" O.C.	18"x18"	

GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	REM.
	STONE MULCH 2" River rock or Owner approved equal over weed control fabric		mulch			± 2,384 sf
	BOULDER		24" X 36" X 10" (Approximate Size)			

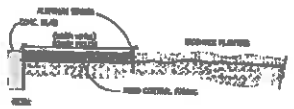
NORTH

GRAPHIC SCALE IN FEET

0 8 16 32

PLANTING NOTES:

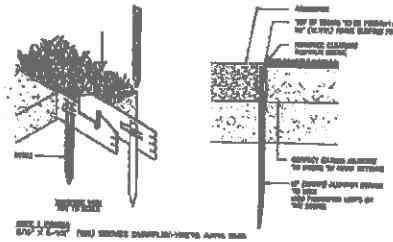
1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
8. CONTRACTOR SHALL HAND WATER AND MAINTAIN PLANTINGS FOR 90 DAYS PER NOTES ON BOTTOM OF SHEET L1.0



A Stone Mulch
NTS

SEVEN STEPS OF XERISCAPE:

1. PLAN AND DESIGN.
   Parking surface is removed on lot to allow for placement of excavated Bermuda grass adjacent to paved surface. Bermuda are planted with native grasses that will hold sands the proposed parking lot.
2. OBTAIN SOIL ANALYSIS.
   Existing site is paved and will be converted to a depth of 36" and back filled with Bermuda soil mix in landscape areas.
3. CHOOSE PROPER PLANTS.
   Native and drought tolerant plants have been specified for the site.
4. USE TURF WISELY.
   Grass sod is used in a very limited capacity efforts to fill bulb-out in the right-of-way. There is no sod placed on the site
5. IRRIGATE EFFICIENTLY.
   The site is designed to eliminate the need for any irrigation.
6. USE MULCH.
   Mulch is utilized in Bermuda areas to help retain moisture for selected native plants.
7. PERFORM PROPER MAINTENANCE.
   City of Boynton Beach maintained property.



B Edging
NTS

Kimley»Horn

LICENSED PROFESSIONAL
JONATHAN D. HARRIS, P.E.
FLORIDA LICENSE NUMBER
LIC#0067745
DATE 08/04/2015

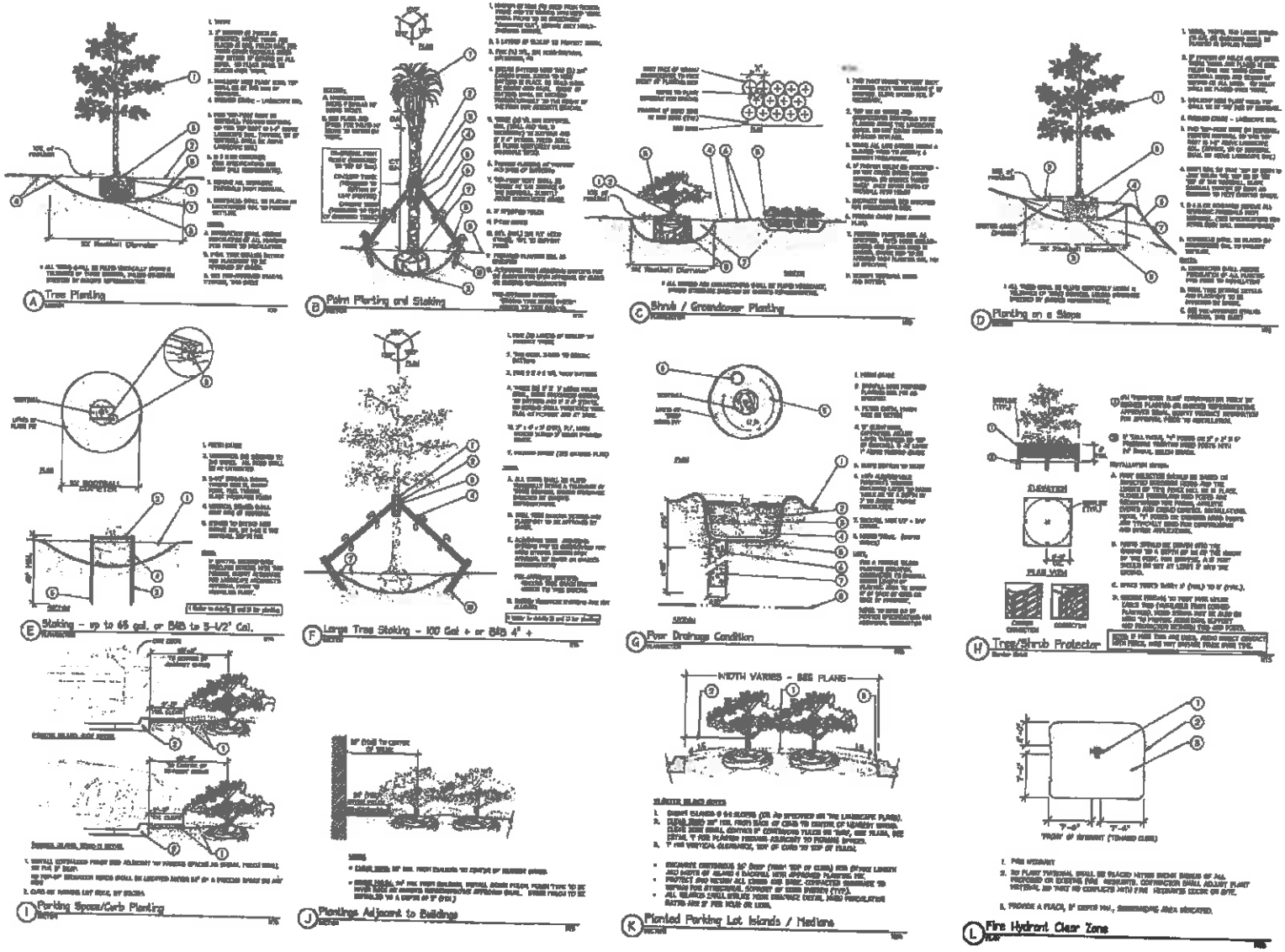
KHA PROJECT 043170017
DATE AUG. 2015
DESIGNED BY TCH
DRAWN BY TCH
CHECKED BY JDH

REVISIONS

LANDSCAPE PLAN

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

SHEET NUMBER
L1.00



Kimley»Horn

LANDSCAPE DETAILS

NE 4TH STREET & NE 1ST AVENUE PARKING AND STREET ENHANCEMENT PROJECT
PREPARED FOR
BOYNTON BEACH CRA
BOYNTON BEACH FLORIDA

SHEET NUMBER
L1.10

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS REQUIRED IN THE PLANT LIST, AND AS NOTED BELOW.

2. WORK SHALL INCLUDE MAINTENANCE AND REMOVAL OF ALL CONTRACT PLANTING AREAS UNTIL COMPLETION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, FENCES, POLES, CURBS AND CONSTRUCTION JOINTS, AND PLANTING AREAS COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE INDICATED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS LOCATED ON OTHER WORK CAUSED BY EQUIPMENT OPERATION, PATHWAYS, SPROUTING, ETC. THIS SHALL INCLUDE COMPENSATION BY REMOVAL OR TRANSPLANTING THE TREE-LINE, DRIP-LINE AND SPLAYS OF, BARGAINS, OR OTHER REQUIREMENTS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE, EXCEPT FOR PLANTS. EXISTING TREES SHALL BE INSPECTED TO THEY ARE PERIODICALLY WATER OR DEHYDRATE SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS ($100) FOR EACH INCH OF ONE DIAGONAL MEASURE MINUS ($100) AN ADDITIONAL TWENTY (20) PERCENT FOR EACH OVER FOUR (4) INCHES CALIPER, AS FIXED AND ADJUSTED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL THE TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. NOW IMPORTANT APPROVAL, CHANGES OF MATERIALS MAY OCCUR.

MATERIAL	MINIMUM
SOIL	PERCENT DATA
SOIL FOR PLANTS	PERCENT DATA PERCENT DATA THREE TIMES THE PLANTING OF ONE (1) OF EACH SPECIES (IN THREE IN NURSERY) CLEAN-EXCAVATED TREATED PLANT SUBSTITUTE PEATS. MICROTIC MEDIA (MICROMATRIX) AND QUALITY PER SPEC.
FERTILIZER	PRODUCT DATA
MULCH	PRODUCT DATA
WATER	PRODUCT DATA
SPECIFICATIONS	THE ALTERNATE TO DETAILS AND PRODUCT DATA, DETAIL

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. MANUFACTURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 2ND EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS GROWN IN FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DEPARTMENT OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-MATURED, AND FREE OF DISEASE AND INSECTS. NEWLY SEED BEE LARGE AND SHALL HAVE ADEQUATE ROOT BREEDING. TREES FOR PLANTING IN SAND SHALL BE GROWN IN SAND AND SHOWN. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE MAY REQUIREMENTS ARE NOT MET THAT THE PLANT LIST, THE PLANTS PURCHASED SHALL BE REMOVED FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL. NOW SHOWN ON OWNER'S REPRESENTATIVE, NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE

B. MEASUREMENTS: THE HEIGHT GIVEN WITH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE ROOTS, BEFORE OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THE MEASUREMENT SHALL NOT INCLUDE THE DIAGONAL TRAPPING. GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY AT THE SITE. AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION THEREOF AND CONDITION OF ROOT BALLS OR BOXES, LARGER OBSERVED OR DEAD. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. WHEN REMOVING DEFECTIVE SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM) FOR PLANTING, PLANTER FOR, TOPSOIL MIX)

1. SOIL MIXTURE (PLANTING MEDIUM) FOR PLANT PITS) SHALL CONSIST OF SIX CLEAN FLORIDA SAND AND SIX PARTS CLEAN SAND. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.5 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

2. SAND (FOR MIXING PURPOSE) FOR USE IN PREPARING SOIL MIXTURES FOR BACKFILLING PLANT PITS SHALL BE FRESHLY, AND OF A VERY FINE GRADE, CLEAN, FREE FROM FOREIGN MATERIAL, ABSOLUTELY FREE OF GRAVEL, CLAY LUMPS, WEEDS, ROOTS AND OTHER LITTER, FREE OF SALTS, STUMPS, BRUSH, LARGER, THAN 2" IN ANY DIRECTION, AND OTHER DEFINITIONS OR THOSE FOUND NATIVE TO PLANT SPECIES.

3. SAND THE USE IN PREPARING SOIL MIXTURE SHALL BE SCREW, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT SAMPLE RESULTS OF SOIL TESTS FOR TEXTURE, AND SAND TRANSPORTED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.

4. TREES SHALL BE PLANTED IN THE GROWING NATIVE SOIL OR SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH TIME THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO OBTAIN ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

5. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS BEGINNING.

F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ACCEPTABLE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, INTERFERE OR MINIMIZE ELEMENTS BOTANICAL, TO PLANTS. WATER TESTING THE WORK SPECIFIED SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY THE TANKS, HOSE, SPRINKLERS, ETC. IF WATER NEEDED IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER IN ACCORDANCE WITH RECOMMENDATIONS BASED ON SOIL TESTS. ALL FERTILIZER SHALL BE DELIVERED IN ORIGINAL UNOPENED CONTAINERS BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. FERTILIZER SHALL BE APPLIED AS SPECIFIED IN SECTION 3. THE FERTILIZER SHALL BE APPLIED AT THE RATE OF ONE POUND PER 100 SQUARE FEET OF PLANTING AREA.